

NEWCASTLE

OVERALL PLAN

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5. LIMITED BOUNDARY SURVEY HAS BEEN UNDERTAKEN UNDER CLAUSE 9 OF THE SURVEY AND SPATIAL INFORMATION REGULATIONS (2017). BEARINGS, DIMENSIONS AND AREA ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY FULL BOUNDARY SURVEY. BOUNDARIES SHOWN ON THIS PLAN SHOULD NOT BE RELIED UPON FOR WORK ON OR NEAR THE BOUNDARY
6. SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON DIAL BEFORE YOU DIG PLANS DATED 9th JULY 2021, PROVIDED BY THE RELEVANT AUTHORITIES AND FROM VISIBLE SURFACE LIDS/INDICATORS. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
7. LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 18016 WITH RL OF 14.530m LOCATED AT STAPLETON STREET, WALLSEND.
8. ORIGIN OF CO-ORDINATES PM 18016 WITH MGA (GDA2020) CO-ORDINATE VALUES OF E376668.158 N6359263.147
9. CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.
10. CONTOUR INTERVAL 0.25m. CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

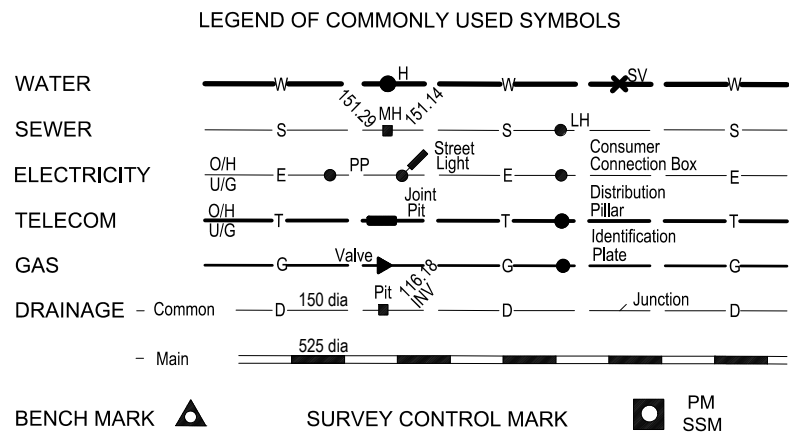
LEGEND		
	SEWER MANHOLE	FENCE
	SEWER INSPECTION POINT	SEWER
	POWER POLE	WATER
	GAS	TELSTRA
	HYDRANT	GAS
	STOP VALVE	OVERHEAD POWER
	WATER METER	BOUNDARY
	TAP	MINOR CONTOUR
	TELSTRA PILLAR	MAJOR CONTOUR
	TELSTRA PIT	
	TREE REFERENCE NUMBER	

- (A) EASEMENT TO DRAIN WATER 3 WIDE (DP1293325)
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE (DP1293325)

No.	DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT
1	13-07-2021	Initial Detail Plan			
2	08-11-2021	Tree Additions			
3	07-02-2022	Stormwater Line			
4	17-05-2023	Easement to Drain Water added			
5	02-11-2023	Lot 5 dimension added			
		FILE	FILE SIZE (MB)	CHECKED BY	
		118781 - 6-12 Peters Avenue Wallsend - Detail Plan.dwg	0.85MB	DA	

CONTOUR INTERVAL: 0.25m
DATUM: AHD
ORIGIN OF DATUM: PM 18016

100 YEAR FLOOD RL:
RECOMMENDED MINIMUM FLOOR RL:
SOURCE OF FLOOD INFO:



REDUCTION RATIO 1 : 300

0 1 2 3 4 5 6 7 8 9 10

LAND TITLE INFORMATION

LOTS: LOT 48, 49, 50 and 51

PLAN NOs : DP 35087

OTHER:

AREA: See Adjoining Pages

DATE OF SURVEY: 13 / 07 /2021
SURVEY CONSULTANT:

RPS Australia East Pty Ltd

.....
Registered Surveyor
SURVEYORS REF : 118781-309

Division of the Department of Family & Community Services

DRAWING TITLE

Detail Survey

LOCATION

WALLSEND

STREET ADDRESS

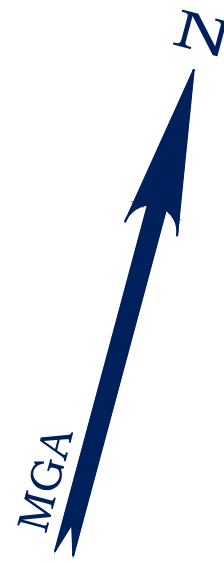
6-12 Peters Avenue, Wallsend

TYPE

S

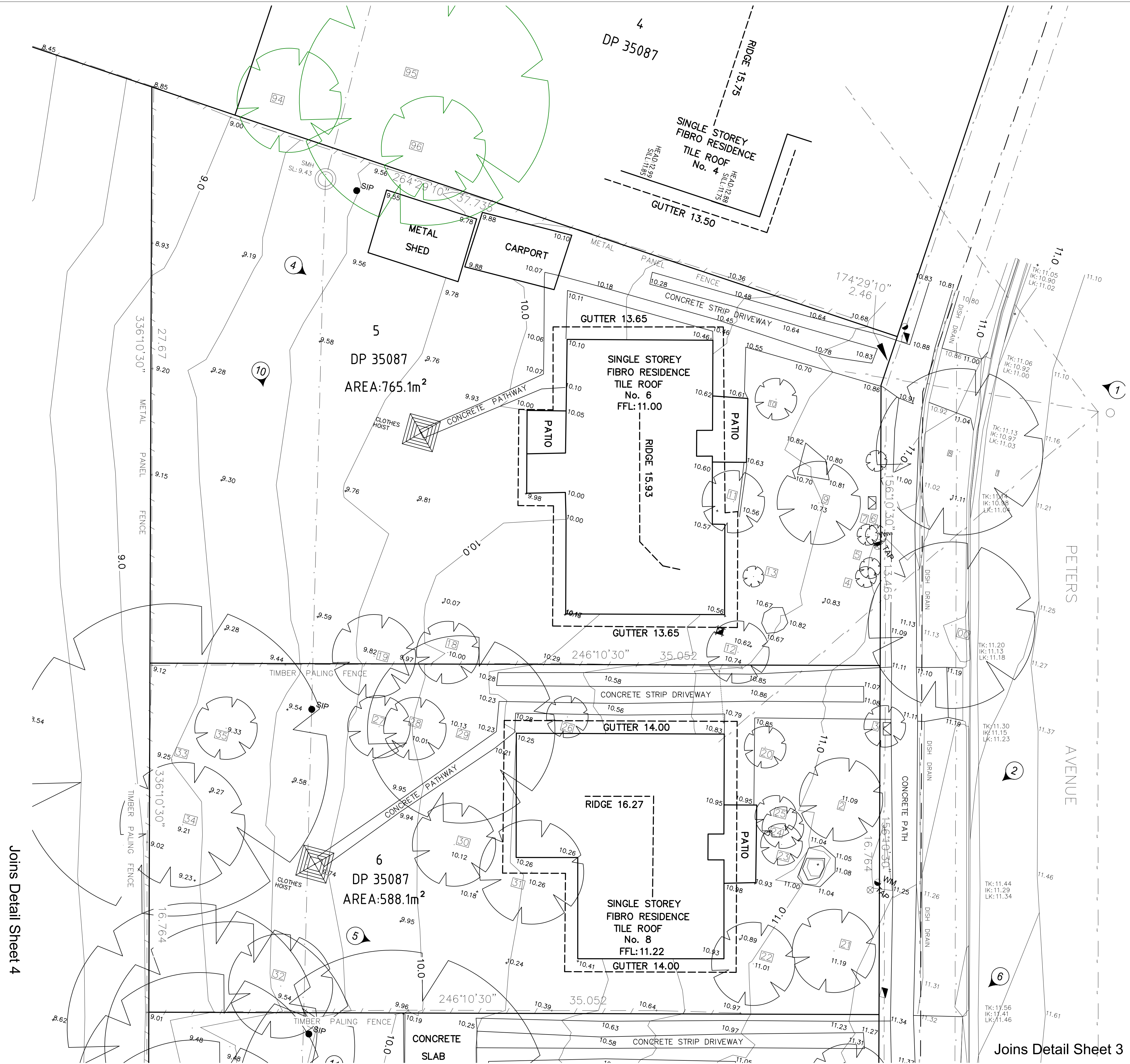
SITE LAYOUT JOB

SH. 1 OF 7



NEWCASTLE
DETAIL PLAN 6-8
PETERS AVENUE
WALLSEND

LEGEND			
	SEWER MANHOLE		FENCE
● SIP	SEWER INSPECTION POINT		SEWER
	POWER POLE		WATER
	GAS		TELSTRA
● HYD	HYDRANT		GAS
● SV	STOP VALVE		OVERHEAD POWER
● WM	WATER METER		BOUNDARY
⊕ TAP	TAP		MINOR CONTOUR
	TELSTRA PILLAR		MAJOR CONTOUR
	TELSTRA PIT		
	TREE REFERENCE NUMBER		



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FILE	FILE SIZE (MB)	CHECKED BY
118761 - 6-12 Peters Avenue Wallsend - Detail Plan.dwg	0.85MB	DA

CONTOUR INTERVAL: 0.25m
DATUM: AHD
ORIGIN OF DATUM: PM 18016

100 YEAR FLOOD RL:
RECOMMENDED MINIMUM FLOOR RL:
SOURCE OF FLOOD INFO:

LEGEND OF COMMONLY USED SYMBOLS

WATER
SEWER
ELECTRICITY
TELECOM
GAS
DRAINAGE
BENCH MARK
SURVEY CONTROL MARK
PM SSM

REDUCTION RATIO 1 : 100

LAND TITLE INFORMATION

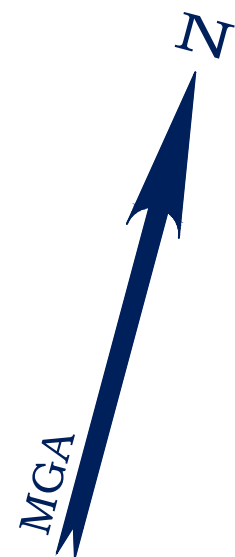
LOTS: LOT 5, 6, 7 and 8
PLAN NOs : DP 35087
OTHER:
AREA: See Adjoining Pages

DATE OF SURVEY: 13 / 07 / 2021
SURVEY CONSULTANT:
RPS Australia East Pty Ltd
SURVEYORS
REF: 118761-309

NSW Land & Housing Corporation
Division of the Department of Family & Community Services
DRAWING TITLE
Detail Survey

LOCATION
WALLSEND

STREET ADDRESS 6-12 Peters Avenue, Wallsend	TYPE S
SITE LAYOUT JOB / /	SHT. 2 OF 7

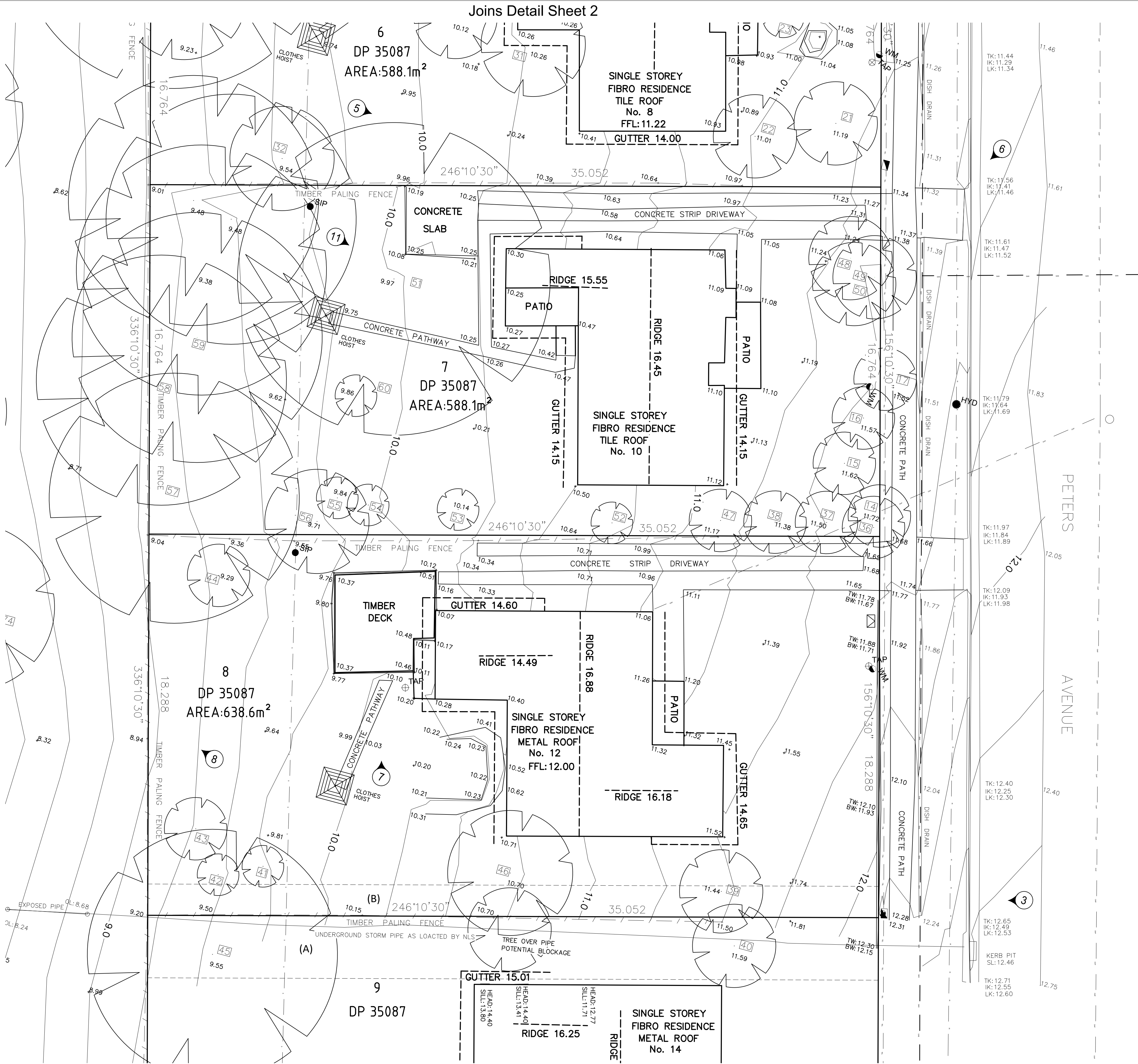


NEWCASTLE

DETAIL PLAN
10-12 PETERS AVENUE
WALLSEND

LEGEND			
	SEWER MANHOLE		FENCE
 SIP	SEWER INSPECTION POINT		SEWER
	POWER POLE		WATER
	GAS		TELSTRA
 HYD	HYDRANT		GAS
 SV	STOP VALVE		OVERHEAD POWER
 WM	WATER METER		BOUNDARY
 TAP	TAP		MINOR CONTOUR
	TELSTRA PILLAR		MAJOR CONTOUR
	TELSTRA PIT		
	TREE REFERENCE NUMBER		

Joins Detail Sheet 4



- (A) EASEMENT TO DRAIN WATER 3 WIDE (DP1293325)
(B) EASEMENT TO DRAIN WATER 1.5 WIDE (DP1293325)

No.	DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT
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CONTOUR INTERVAL: 0.25m
DATUM: AHD
ORIGIN OF DATUM: PM 18016
100 YEAR FLOOD RL:
RECOMMENDED MINIMUM
FLOOR RL:
SOURCE OF FLOOD INFO:

LEGEND OF COMMONLY USED SYMBOLS	
WATER	
SEWER	
ELECTRICITY	
TELECOM	
GAS	
DRAINAGE - Common	
BENCH MARK	
SURVEY CONTROL MARK	
PM	
SSM	

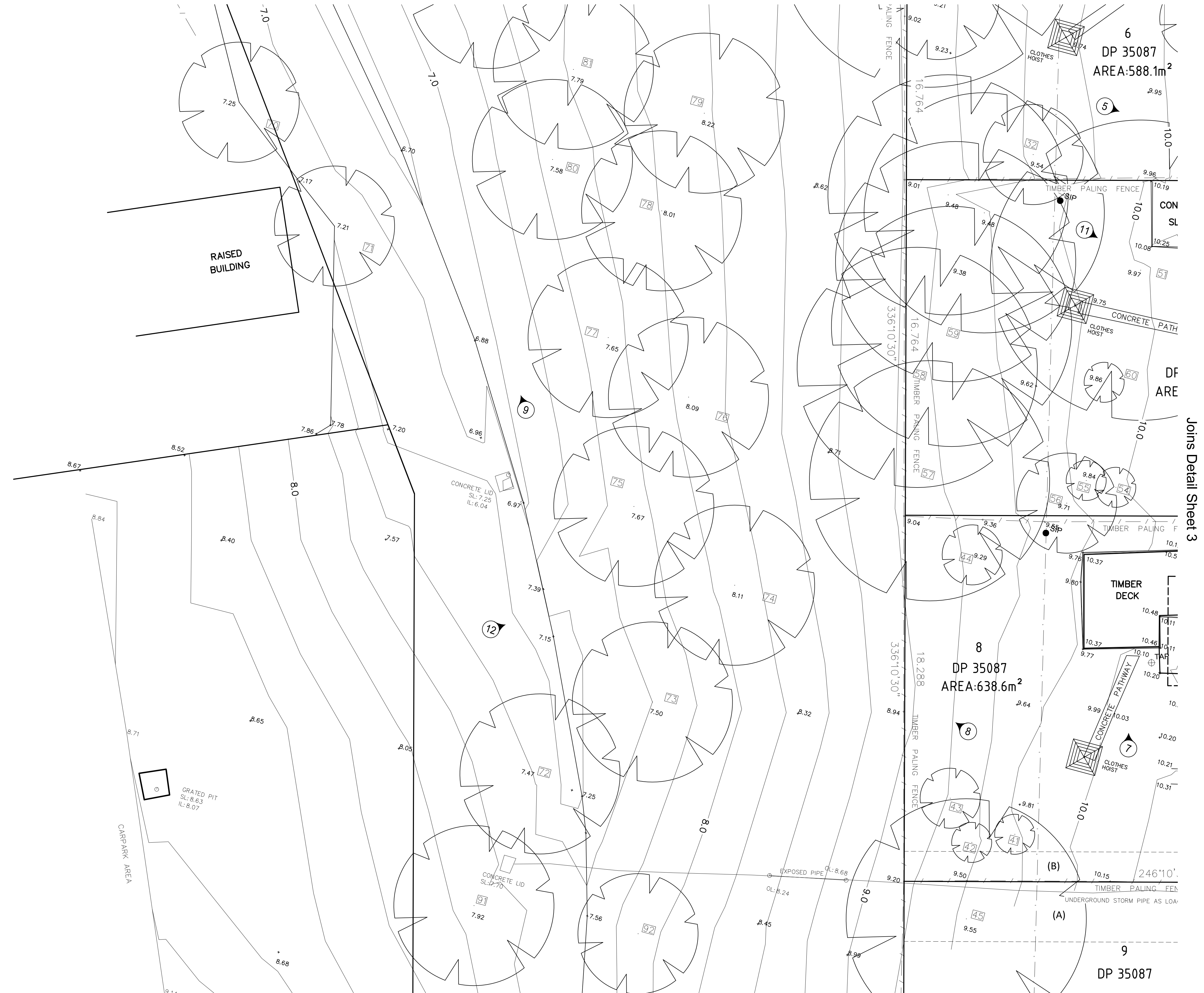
REDUCTION RATIO	
1	:100.....
LAND TITLE INFORMATION	
LOTS:	LOT 5, 6, 7 and 8
PLAN NOs :	DP 35087
OTHER:	
AREA:	See Adjoining Pages

DATE OF SURVEY: 13 / 07 /2021
SURVEY CONSULTANT:
RPS Australia East Pty Ltd
SURVEYORS REF: 118761-309

	Division of the Department of Family & Community Services
DRAWING TITLE	
Detail Survey	

LOCATION	
WALLSEND	
STREET ADDRESS	TYPE
6-12 Peters Avenue, Wallsend	S
SITE LAYOUT JOB	SHT. 3
/ /	OF 7

LEGEND		
	SEWER MANHOLE	— / — / — FENCE
SIP	SEWER INSPECTION POINT	— . — . — SEWER
	POWER POLE	— . — . — WATER
	GAS	— . — . — TELSTRA
HYD	HYDRANT	— . — . — GAS
SV	STOP VALVE	—— . —— OVERHEAD POWER
WM	WATER METER	———— BOUNDARY
TAP	TAP	———— MINOR CONTOUR
	TELSTRA PILLAR	———— MAJOR CONTOUR
	TELSTRA PIT	
	TREE REFERENCE NUMBER	

[illegible]

LEGEND OF COMMONLY USED SYMBOLS

The legend defines symbols for various utility lines and components:

- WATER:** Solid line with a valve symbol (V) and a manhole symbol (H). A specific manhole is labeled "51-10-11".
- SEWER:** Solid line with a manhole symbol (H) and a valve symbol (V).
- ELECTRICITY:** Solid line with a transformer symbol (E), a street light symbol (SL), and a consumer connection box symbol (CCB).
- TELECOM:** Solid line with a joint symbol (J), a distribution pipe symbol (DP), and a plate symbol (P).
- GAS:** Solid line with a valve symbol (V), a gas meter symbol (G), and a junction symbol (J).
- DRAINAGE:** Solid line with a manhole symbol (H) and a junction symbol (J).

Additional symbols include:

- Main:** A thick solid line.
- Bench Mark:** A triangle symbol with the letter "B" inside.
- Survey Control Mark:** A circle symbol with the letter "S" inside.
- PM SSM:** A circle symbol with the letters "PM" and "SSM" inside.

DATE OF SURVEY: 13 / 07 /2021

SURVEY CONSULTANT:

RPS Australia East
Pty Ltd

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SURVEYORS Registered Surveyor
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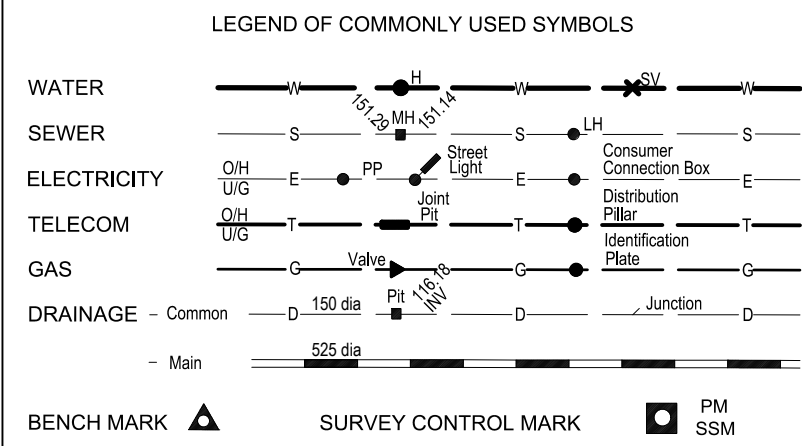
LOCATION	WALLSEND		
STREET ADDRESS	6-12 Peters Avenue, Wallsend		TYPE S
SITE LAYOUT JOB			SHT. 4
/ /			OF 7

[illegible]

LEGEND		
	SEWER MANHOLE	— / — / — FENCE
 SIP	SEWER INSPECTION POINT	— . — . — SEWER
	POWER POLE	— . — . — WATER
	GAS	— . — . — TELSTRA
 HYD	HYDRANT	— . — . — GAS
 SV	STOP VALVE	— — . — — OVERHEAD POWER
 WM	WATER METER	— — — — — BOUNDARY
 TAP	TAP	— — — — — MINOR CONTOUR
	TELSTRA PILLAR	— — — — — MAJOR CONTOUR
	TELSTRA PIT	
	TREE REFERENCE NUMBER	

[illegible]

CONTOUR INTERVAL: 0.25m
 DATUM: AHD
 ORIGIN OF DATUM: PM 18016
 100 YEAR FLOOD RL:
 RECOMMENDED MINIMUM
 FLOOR RL:
 SOURCE OF FLOOD INFO:



REDUCTION RATIO 1 :100

0

LAND TITLE INFORMATION

LOTS: LOT 5, 6, 7 and 8

PLAN NOS : DP 35087

OTHER:

AREA: See Adjoining Pages

DATE OF SURVEY: 13 / 07 /2021
SURVEY CONSULTANT:

RPS Australia East
Pty Ltd

SURVEYORS Registered Surveyor
REF: 118761-309



Land & Housing
Corporation

Division of the Department of Family & Community Services

DRAWING TITLE

Detail Survey

LOCATION

WALLSEND

STREET ADDRESS

6-12 Peters Avenue, Wallsend

SITE	LAYOUT	JOB
------	--------	-----

TYPE

5

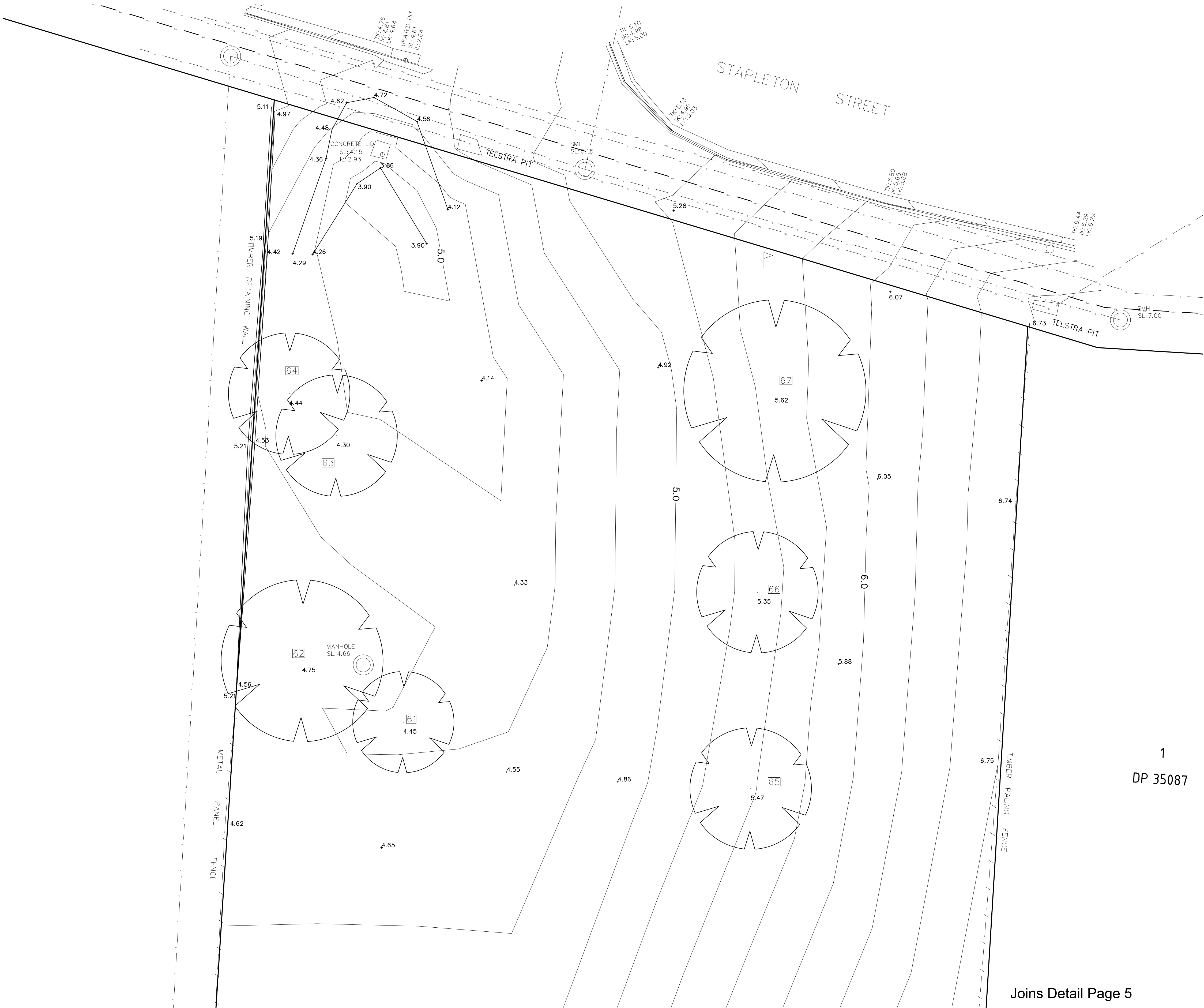
SHT. 5
OF 7



NEWCASTLE

DETAIL PLAN
RESERVE
PETERS AVENUE
WALLSEND

LEGEND			
	SEWER MANHOLE		FENCE
 SIP	SEWER INSPECTION POINT		SEWER
	POWER POLE		WATER
	GAS		TELSTRA
 HYD	HYDRANT		GAS
 SV	STOP VALVE		OVERHEAD POWER
 WM	WATER METER		BOUNDARY
 TAP	TAP		MINOR CONTOUR
	TELSTRA PILLAR		MAJOR CONTOUR
	TELSTRA PIT		
	TREE REFERNECE NUMBER		



1
DP 35087

Joins Detail Page 5

No.	DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT
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CONTOUR INTERVAL: 0.25m
DATUM: AHD
ORIGIN OF DATUM: PM 18016

100 YEAR FLOOD RL:
RECOMMENDED MINIMUM
FLOOR RL:
SOURCE OF FLOOD INFO:

LEGEND OF COMMONLY USED SYMBOLS	
WATER	
SEWER	
ELECTRICITY	
TELECOM	
GAS	
DRAINAGE	
BENCH MARK	
SURVEY CONTROL MARK	
PM SSM	

REDUCTION RATIO	
1	: 100
LAND TITLE INFORMATION	
LOTS:	LOT 5, 6, 7 and 8
PLAN NOS :	DP 35087
OTHER:	
AREA:	See Adjoining Pages

DATE OF SURVEY: 13 / 07 /2021
SURVEY CONSULTANT:

RPS Australia East
Pty Ltd

SURVEYORS
REF: 118781-309

Division of the Department of Family & Community Services

DRAWING TITLE

Detail Survey

LOCATION	
WALLSEND	
STREET ADDRESS	TYPE
6-12 Peters Avenue, Wallsend	S
SITE LAYOUT JOB	SHT. 6
/ /	OF 7



Tree Table												
Tree No.	Spread	Height	Trunk		Tree No.	Spread	Height	Trunk	Tree No.	Spread	Height	Trunk
0	8	10	0.6		47	3	3	0.2	94	5	10	0.4
1	8	10	0.6		48	4	2	0.2	95	15	15	0.6
2	4	6	0.4		49	4	2	0.2	96	5	10	0.3
3	2	2	0.2		50	4	2	0.2				
4	1	1	0.1		51	15	12	0.8				
5	1	1	0.1		52	2	3	0.2				
6	1	1	0.1		53	2	3	0.2				
7	1	1	0.1		54	2	3	0.2				
8	1	1	0.1		55	2	3	0.2				
9	4	6	0.3		56	5	8	0.3				
10	2	3	0.1		57	12	12	0.6				
11	3	3	0.2		58	12	12	0.6				
12	3	4	0.5		59	12	12	0.6				
13	1	1	0.1		60	2	2	0.2				
14	3	5	0.2		61	5	8	0.4				
15	3	5	0.2		62	8	10	0.6				
16	3	5	0.2		63	6	8	0.4				
17	3	5	0.2		64	6	8	0.4				
18	3	4	0.1		65	6	6	0.4				
19	4	7	0.2		66	6	6	0.4				
20	2	3	0.2		67	9	10	0.6				
21	4	7	0.3		68	5	6	0.4				
22	4	5	0.2		69	5	6	0.4				
23	2	2	0.2		70	6	7	0.4				
24	2	2	0.2		71	6	7	0.4				
25	2	2	0.2		72	8	10	0.4				
26	2	2	0.1		73	8	10	0.4				
27	3	3	0.2		74	8	10	0.4				
28	3	3	0.2		75	8	10	0.4				
29	9	12	0.6		76	8	10	0.4				
30	4	6	0.2		77	8	10	0.4				
31	5	5	0.3		78	8	10	0.4				
32	5	8	0.3		79	8	10	0.4				
33	15	12	0.8		80	8	10	0.4				
34	6	5	0.3		81	8	10	0.4				
35	3	4	0.2		82	8	10	0.4				
36	3	3	0.2		83	8	10	0.4				
37	3	3	0.2		84	8	10	0.4				
38	3	3	0.2		85	8	10	0.4				
39	4	4	0.3		86	8	10	0.4				
40	4	4	0.3		87	8	10	0.4				
41	2	2	0.2		88	8	10	0.4				
42	2	2	0.2		89	8	10	0.4				
43	3	6	0.3		90	8	10	0.4				
44	3	3	0.2		91	8	10	0.4				
45	12	10	0.6		92	6	9	0.4				
46	6	5	0.2		93	6	9	0.4				

[illegible]